

DATED _____ **2022**

TRANSPORT FOR LONDON

THE SILVERTOWN TUNNEL ORDER 2018

GENERAL VESTING DECLARATION

relating to

**LAND and NEW RIGHTS AND RESTRICTIVE
COVENANTS OVER LAND**

**lying on the south side of the River Thames
between Millennium Way, Pavilion Lane and the
Blackwall Tunnel Approach (A102)**

**all being land located on the Greenwich Peninsula
in the Royal Borough of Greenwich**

and referred to as

**THE SILVERTOWN TUNNEL SOUTH PORTAL
(GREENWICH) GVD**



Pinsent Masons

FORM 1

FORM OF GENERAL VESTING DECLARATION

THIS GENERAL VESTING DECLARATION is executed on the _____ day of _____ 2022 by Transport for London (“TfL”).

WHEREAS:-

- (1) On 10 May 2018 a development consent order entitled The Silvertown Tunnel Order 2018 (SI 2018 No. 574) was made by the Secretary of State for Transport under the powers conferred on him by the Planning Act 2008 (the “**Development Consent Order**”).
- (2) The Development Consent Order came into force on 31 May 2018, authorising TfL to exercise powers under the Development Consent Order to acquire compulsorily land described in the Second Schedule hereto, acquire new rights over land described in the Fourth Schedule hereto, and to impose restrictive covenants over land described in the Third Schedule hereto (in addition to other land, other new rights over land and other restrictive covenants also included in the Development Consent Order).
- (3) Article 26 of the Development Consent Order provides for the application, with modifications (as identified in article 26) of the Compulsory Purchase (Vesting Declarations) Act 1981 (“**the Act**”) to the Development Consent Order. The Act prescribes vesting procedures for land subject to powers of compulsory acquisition under the Development Consent Order.
- (4) Notice of compulsory acquisition was first published in accordance with section 134 of the Planning Act 2008 on 5 June 2018.
- (5) That notice included the statement and form prescribed under Regulation 3(2)(b) of the Compulsory Purchase of Land (Vesting Declarations) (England) Regulations 2017.

NOW THIS DEED WITNESSETH that, in exercise of the powers conferred on them by section 4 of the Act, as applied by article 26 of the Development Consent Order, TfL hereby declares:-

1. The Vested Property (defined in the First Schedule and shown coloured pink on the GVD Plan annexed hereto), the Covenant Affected Land (defined in the First Schedule and shown on the GVD Plan annexed hereto both coloured blue and unhatched and coloured blue and hatched blue), and the New Rights Affected Land (defined in the First Schedule and shown on the GVD Plan annexed hereto coloured blue and hatched blue), together referred to as the GVD Land and further defined in the First Schedule (being part of the land and land rights authorised by the Development Consent Order to be acquired by TfL), along with the rights to enter and take possession of the GVD Land and to vest the Vested Property in TfL along with the benefit of and the right to enforce the TfL Restrictive Covenants (defined in the First Schedule and set out in the Third Schedule to this Declaration) against the Covenant Affected Land and to enforce the New Rights (defined in the First Schedule and set out in the Fourth Schedule to this Declaration) against the New Rights Affected Land **SHALL VEST** in TfL as from the Vesting Date (defined in the First Schedule). Each of the TfL Restrictive Covenants and each of the New Rights shall be enforceable by TfL (and its successors in title to the Vested Property) for the benefit of each and every part of the Vested Property that is capable of benefitting from it.
2. For the purposes of section 2(2) of the Act, the specified period in relation to the land comprised in this declaration is one year and one day in relation to each area of land specified in columns 1 and 2 of the Second Schedule hereto that is stated with respect to that area in column 2.
3. In this Declaration, wherever the context permits:
 - (a) the headings are for convenience only and do not affect the interpretation of this Declaration;
 - (b) the capitalised terms appearing in this Declaration (including the Schedules) have the respective meanings assigned to them in this Declaration and, in particular,

where the capitalised terms set out in the First Schedule denote defined terms, those defined terms shall apply throughout this Declaration;

- (c) reference to any statute or section of any statute includes a reference to any statutory amendments, modification or re-enactment thereof for the time being in force and to every instrument, order direction, regulation, bye-law, commission, licence, consent, condition, scheme or other such matter made under or pursuant to statute;
- (d) wording importing the singular includes the plural and vice versa and wording importing gender includes any other gender;
- (e) references to persons includes persons, firms and companies;
- (f) the word 'including' means including but without limitation;
- (g) the words 'in particular' mean in particular, but without prejudice to the generality of the preceding wording;
- (h) a reference to the Vested Property includes reference to any part thereof unless the context otherwise requires;
- (i) a reference to the Silvertown Tunnel includes reference to any part thereof unless the context otherwise requires;
- (j) a reference to Covenant Affected Land or New Rights Affected Land includes reference to any part thereof unless the context otherwise requires;
- (k) a reference to either Protection Zone B or Protection Zone C (as defined in the First Schedule) includes reference to as much of such land as the context requires;
- (l) a reference to any Existing Title (as defined in the First Schedule) includes reference to any part thereof unless the context otherwise requires;
- (m) references to numbered Plots relate to the Plot numbers which appear on the land plans certified by the Secretary of State in accordance with article 65 of the Development Consent Order;
- (n) a reference to a particular numbered Plot or to a group or series of Plots includes reference to the whole and all parts thereof unless the context otherwise requires;
- (o) a reference to a part of a Plot (in circumstances where parts of the land comprised within a particular Plot are treated differently within this Declaration) is to the part of the Plot identified by the text of this Declaration and by the colouring, hatching and any applicable annotations on the GVD Plan;
- (p) measurements for Plots given in the Schedules are approximate;
- (q) references to a particular Schedule are to the relevant Schedule of this Declaration; and
- (r) a reference to a 'Part' of a Schedule is a reference to such part of that Schedule as the context permits.

4. The Depth Table (defined in the First Schedule and set out in the Fifth Schedule) specifies for each of the Reference Points (as defined in the First Schedule) the elevation at that Reference Point of the points defined in the First Schedule which are required in order to ascertain the lower limit of the Covenant Affected Land or New Rights Affected Land as the case may be.

Between adjacent Reference Points it is deemed that the depth of each of the points specified in the Depth Table will follow a straight line at a steady gradient, and this assumption is to be applied whenever it is necessary to calculate the depth of any of those named points at any point within the GVD Land which is not a Reference Point.

5. This Declaration shall have the effect of vesting in TfL on the Vesting Date the following interests in the GVD Land:

- (a) a freehold estate in the whole of the Vested Property;
- (b) for the benefit and protection of the whole of the Vested Property the right for TfL and its successors as proprietors of the Vested Property to the benefit of and the right to enforce the TfL Restrictive Covenants defined in the First Schedule and described in the Third Schedule against the Covenant Affected Land such that:
 - (i) the TfL Restrictive Covenants described in Part 1 of the Third Schedule will apply to all Covenant Affected Land which is within Protection Zone B; and
 - (ii) the TfL Restrictive Covenants described in Part 2 of the Third Schedule will apply to all Covenant Affected Land which is within Protection Zone C; and
- (c) for the benefit and protection of the whole of the Vested Property the right for TfL and its successors as proprietors of the Vested Property to the benefit of and the right to enforce the New Rights defined in the First Schedule and described in the Fourth Schedule against the whole and all parts of the New Rights Affected Land.

6. TfL hereby requests the Chief Land Registrar on or after the Vesting Date:

- (a) to register TfL as the proprietor of a freehold estate in the Vested Property with absolute title;
- (b) to note the TfL Restrictive Covenants described in Part 1 of the Third Schedule against each affected Existing Title which contains Covenant Affected Land which is within Protection Zone B;
- (c) to note the TfL Restrictive Covenants described in Part 2 of the Third Schedule against each affected Existing Title which contains Covenant Affected Land which is within Protection Zone C;
- (d) to note the benefit of the TfL Restrictive Covenants on the freehold title of the Vested Property;
- (e) to note the New Rights against each affected Existing Title which contains New Rights Affected Land; and
- (f) to note the benefit of the New Rights on the freehold title of the Vested Property.

THE FIRST SCHEDULE

DEFINED TERMS

Defined Term	Meaning of Defined Term
“Covenant Affected Land”	<p>all that GVD Land including all the mines and minerals within it corresponding to:</p> <p>(a) the whole of Protection Zone B (as defined below) within the GVD Land which abuts the Vested Property and lies above a straight line which runs at a 45-degree angle outwards and upwards from Point B (which is located within the Vested Property) until it reaches the Surface of the Land (or, if sooner, the GVD Outer Limit) at which point it rises vertically on a line perpendicular to the Surface of the Land and in either case then continues upwards to include the airspace above it without upper limit and which is shown coloured blue (both with and without blue hatching) on the GVD Plan and for ease of description is also shown coloured blue (and in part also hatched blue) on GVD Illustrative Cross Section Figure 1;</p> <p>(b) the whole of Protection Zone C (as defined below) within the GVD Land which abuts the Vested Property and lies above a straight line which runs at a 45-degree angle outwards and upwards from Point F (which is located within or at the edge of the Vested Property) until it reaches the Surface of the Land (or, if sooner, the GVD Outer Limit) at which point it rises vertically on a line perpendicular to the Surface of the Land and in either case then continues upwards to include the airspace above it without upper limit and which is shown coloured blue (both with and without blue hatching) on the GVD Plan and for ease of description is also shown coloured blue (and in part also hatched blue) on GVD Illustrative Cross Section Figure 2;</p>
“Depth Table”	<p>the table set out in the Fifth Schedule which depicts:</p> <p>(c) for each of the Reference Points marked along Line B on the Reference Points Plan the elevation (in either AOD or BOD as the case may be) of Point B at that Reference Point; and</p> <p>(d) for each of the Reference Points marked along Line C on the Reference Points Plan the elevation (in either AOD or BOD as the case may be) of Point F at that Reference Point;</p>
“Excluded Interests”	<p>the following interests in any of the Vested Property:-</p> <p>(a) apparatus or rights in respect of apparatus present in that land which the terms of the Development Consent Order preclude TfL from vesting in itself; and</p> <p>(b) apparatus or rights in respect of apparatus present in that land belonging to or controlled by an operator of any electronic communications network (as defined by section 32 Communications Act 2003); and</p> <p>(c) any interests, apparatus or rights in respect of apparatus present in that land which are held by or vested in TfL whether in its own right or as highways authority</p>

	to the intent that the Vested Property will be vested in TfL in consequence of this Declaration subject to and with the benefit of any such apparatus or rights in respect of apparatus which constitute Excluded Interests and which may be subsisting at the Vesting Date;
“Existing Title”	the title applicable to each relevant Plot or part of a Plot of GVD Land as listed in column 3 of the Second Schedule the Third Schedule and the Fourth Schedule ;
“GVD Illustrative Cross Section Figure 1”	<p>the cross-sectional drawing annexed to this Declaration that depicts (by way of explanation only) a typical cross-section through a part of the GVD Land which includes Covenant Affected Land and New Rights Affected Land abutting the Vested Property in Protection Zone B and which shows in that context the relationship of;</p> <p>(a) the Vested Property;</p> <p>(b) the Covenant Affected Land;</p> <p>(c) the New Rights Affected Land; and</p> <p>(d) along Line B a representative Point A at the Surface of the Land with a representative Point B directly beneath it and a representative indication of the GVD Outer Limit shown as the perpendicular line C-D;</p>
“GVD Illustrative Cross Section Figure 2”	<p>the cross-sectional drawing annexed to this Declaration that depicts (by way of explanation only) a typical cross-section through a part of the GVD Land which includes Covenant Affected Land and New Rights Affected Land abutting the Vested Property in Protection Zone C and which shows in that context the relationship of;</p> <p>(a) the Vested Property;</p> <p>(b) the Covenant Affected Land; and</p> <p>(c) the New Rights Affected Land;</p> <p>(d) along Line C a representative Point E at the Surface of the Land with a representative Point F directly beneath it and a representative indication of the GVD Outer Limit shown as the perpendicular line G-H;</p>
“GVD Land”	the land edged red on the GVD Plan and which is shown on those plans coloured pink or blue (with or without blue hatching) and which comprises Covenant Affected Land and/or New Rights Affected land or Vested Property;
“GVD Outer Limit”	the outer edge (by reference to the horizontal plane) of the GVD Land as is shown edged red on the GVD Plan and shown indicatively represented in relation to the Covenant Affected Land on GVD Illustrative Cross Section Figure 1 by the line C-D and on GVD Illustrative Cross Section Figure 2 by the line G-H;

“GVD Plan”	the plan so titled and attached to this Declaration showing in plan form the GVD Land edged red and in parts coloured pink or coloured blue (with and without blue hatching);
“Line B”	the line so marked in orange on the Reference Points Plan showing at all points along the route described by Line B the position of Point A (at the Surface of the Land) with Point B beneath at an elevation AOD or BOD derived from the elevations of the nearest Reference Points as given in the Depth Table;
“Line C”	the line so marked in green on the Reference Points Plan showing at all points along the route described by Line C the position of Point E (at the Surface of the Land) with Point F beneath at an elevation AOD or BOD derived from the elevations of the nearest Reference Points as given in the Depth Table;
“New Rights”	the rights and easements set out in Part 2 of the Fourth Schedule which burden the New Rights Affected Land for the benefit and protection of the Vested Property and which are in each case to be read and construed subject to the provisions of general application which apply to all the New Rights as set out in Part 1 of the Fourth Schedule with the intent that the benefit of such rights and easements will run with the Vested Property and the burden of those rights and easements will run with the specified plots of the New Rights Affected Land;
“New Rights Affected Land”	all that GVD Land shown both coloured blue and hatched blue on the GVD Plan and by way of example depicted as both coloured blue and hatched blue on GVD Illustrative Cross Section Figure 1 and GVD Illustrative Cross Section Figure 2 and which lies above a straight line which runs at an angle of 45 degrees outwards and upwards from Point B or Point F (as the case may be) and which corresponds to the Plot numbers set out in the Fourth Schedule including all the mines and minerals within it and all of the airspace above it;
“Operation”	the use, structural integrity, safety, security, maintenance and repair of the Silvertown Tunnel (including the associated costs of the same);
“Ordnance Datum”	Ordnance Datum Newlyn, which is the national system for height referencing in mainland Great Britain and which forms the reference frame for heights above mean sea level at the time of Development Consent Order coming into force and (a) “AOD” refers to the height of a point in metres above Ordnance Datum; and (b) “BOD” refers to the height of a point in metres below Ordnance Datum;
“Plot”	each or any of the plots of land identified on the GVD Plan and in the Second Schedule, Third Schedule, and Fourth Schedule (which for the avoidance of doubt correspond to the plots of land so identified on the land plans certified by the Secretary of State for Transport in connection with the Development Consent Order);
“Point A”	each or any point along Line B at the Surface of the Land (whether or not a Reference Point);
“Point B”	each or any point along and directly beneath Line B (whether or not a Reference Point) at an elevation calculated by reference to the elevations given in the Depth Table for Point B at the closest Reference Points;
“Point E”	each or any point along Line C at the Surface of the Land (whether or not a Reference Point);

“Point F”	each or any point along and directly beneath Line C (whether or not a Reference Point) at an elevation calculated by reference to the elevations given in the Depth Table for Point F at the closest Reference Points;
“Protection Zone B”	those parts of the GVD Land which are shown coloured blue (including the parts of the GVD Land that are both coloured blue and hatched blue) on the GVD Plan which correspond to those Plot Numbers set out in Part 1 of the Third Schedule and which for identification purposes correspond to the parts of the GVD Land which lie to the northeast of the broken black line marked on the GVD Plan;
“Protection Zone C”	those parts of the GVD Land which are shown coloured blue (including the parts of the GVD Land that are both coloured blue and hatched blue) on the GVD Plan which correspond to those Plot Numbers set out in Part 2 of the Third Schedule and which for identification purposes correspond to the parts of the GVD Land which lie to the southwest of the broken black line marked on the GVD Plan;
“Reference Point”	means:- (a) as to Protection Zone B each of the points on Line B shown marked RP-01 to RP-04b inclusive on the Reference Points Plan; and (b) as to Protection Zone C each of the points on Line C shown marked RP-04c to RP-20 inclusive on the Reference Points Plan each of which corresponds to the equivalently numbered Reference Point listed in the Depth Table;
“Reference Points Plan”	the plan so titled and attached to this Declaration showing Line B and Line C with the Reference Points marked on them;
“Silvertown Tunnel”	the tunnel and highway and other works constructed pursuant to the Development Consent Order;
“Surface of the Land”	means:- (a) in the case of any land on which a building is erected, the level of the surface of the ground adjoining the building; (b) in the case of a river, dock, canal, navigation, watercourse or other water area, the level of the surface of the ground covered by water; or (c) in any other case, ground surface level; in all cases interpreted by reference to Ordnance Datum in metres AOD or BOD as the case may be pursuant to the elevation information which at the date of this Declaration has most recently been published by Ordnance Survey Limited and for which indicative elevations are given in the table in the Sixth Schedule for each Reference Point;
“TfL”	Transport for London, the body corporate established under section 154 of the Greater London Authority Act 1999, of 5 Endeavour Square, Stratford, London E20 1JN;

<p>“TfL Restrictive Covenants”</p>	<p>the restrictive and other covenants and obligations set out in Part 1 and Part 2 of the Third Schedule which burden the parts of the Covenant Affected Land comprising Protection Zone B and Protection Zone C (as respectively specified in Part 1 and Part 2 of the Third Schedule) respectively with the intent that the benefit of such covenants and other matters will run with the Vested Property and the burden of those covenants and other matters will run with the specified Plots of the Covenant Affected Land;</p>
<p>“Vested Property”</p>	<p>all that GVD Land that is shown coloured pink on the GVD Plan comprising the Plot numbers specified in the Second Schedule and which includes the Surface of the Land and the airspace above it without upper limit together with all the land beneath the Surface of the Land without lower limit and all the mines and minerals within it but for the avoidance of doubt the Vested Property does not include any Excluded Interests;</p>
<p>“Vesting Date”</p>	<p>the date 3 months and one day after the later of:</p> <ul style="list-style-type: none"> (a) the date of this Declaration; and (b) the date on which the service of notice required by section 6 of the Act is completed (as certified by TfL).

THE SECOND SCHEDULE

The Vested Property as defined in the First Schedule to this Declaration

Plot Number on GVD Plan (1)	Plot Description (2)	Existing Title (3)
01-060	1655sqm of land comprising shrubbery, car parking, hardstanding and advertising hoardings (Blackwall Tunnel Southern Approach, A102)	TGL221073
01-067 (part)	1558sqm of land comprising yard, shrubbery, and hardstanding off Millennium Way	TGL216606, TGL518877
01-082	44sqm of land comprising shrubbery and hardstanding (Blackwall Tunnel Southern Approach, A102)	58450, Unregistered
01-092 (part)	2676sqm of land comprising shrubbery and hardstanding (Blackwall Tunnel Southern Approach, A102)	TGL221073
02-009	34sqm of land comprising shrubbery and hardstanding (Ordnance Crescent)	58450, Unregistered
02-010 (part)	2386sqm of land comprising shrubbery, car parking and hardstanding (Millennium Way)	TGL221073
02-011	4648sqm of land comprising yard, compound, hardstanding, and car parking (Millennium Way)	TGL221073
02-012	29sqm of land comprising shrubbery and hardstanding (Ordnance Crescent)	LN22574, Unregistered
02-023	425sqm of land comprising private access and hardstanding (Millennium Way)	TGL221073
02-025	274sqm of land comprising private access and hardstanding (Millennium Way)	TGL221073

02-028	211sqm of land comprising public road and footway (Millennium Way)	TGL1608
02-029	954sqm of land comprising shrubbery and hardstanding (Millennium Way)	TGL1608
02-035	5sqm of land comprising public road (Millennium Way)	TGL1608

THE THIRD SCHEDULE

Part 1

TfL Restrictive Covenants

which are imposed for the benefit of the Vested Property on Covenant Affected Land comprising Protection Zone B (which is the land shown on the GVD Plan coloured blue including the land coloured blue that is also hatched blue)

Plot Number on GVD Plan (1)	Plot Description (2)	Existing Title (3)	TfL Restrictive Covenants (4)
02-088 (part)	79sqm of land comprising shrubbery and hardstanding (Millennium Way)	TGL221073	1. Not to: 1.1 do or omit to do or suffer to be done within the Covenant Affected Land comprising Protection Zone B anything which causes a nuisance to, or damages or endangers the Silvertown Tunnel or otherwise adversely affects the Operation of the Silvertown Tunnel;
02-089	45sqm of land comprising private access and hardstanding (Millennium Way)	TGL221073	1.2 conduct any works to erect or remove any building or structure or lay any service media (whether such works are wholly or partially within the Covenant Affected Land comprising Protection Zone B); 1.3 place any mechanical plant on the Covenant Affected Land comprising Protection Zone B in such a position that any item lifted or moved by the plant could fall on the Silvertown Tunnel; 1.4 plant any tree, hedge or shrub on the Covenant Affected Land comprising Protection Zone B such as could cause a nuisance or damage to the Silvertown Tunnel through penetration of roots; without (with respect to the covenants at paragraphs 1.2, 1.3 and 1.4) the prior written consent of TfL which may be given subject to any proper conditions including payment by the applicant for such consent of TfL's proper costs incurred in considering such application regardless of whether consent is ultimately given or whether or not the contemplated works proceed. 2. TfL's consent under paragraph 1 shall not be required in respect of any works relating to:

			2.1	any lightweight temporary structure no more than two storeys high and with foundations no greater than 1m below the current ground level; or
			2.2	the laying of any service media no greater than 1.2m below the Surface of the Land; or
			2.3	the alteration of any ground level by less than 1m above or below the Surface of the Land; or
			2.4	any excavation less than 1.2m below the Surface of the Land.

Part 2

**The TfL Restrictive Covenants
imposed for the benefit of the Vested Property on Covenant Affected Land comprising Protection Zone C
(which is the land shown on the GVD Plan coloured blue including the land coloured blue that is also hatched blue)**

Plot Number on GVD Plan (1)	Plot Description (2)	Existing Title (3)	TfL Restrictive Covenants (4)
01-065	13sqm of land comprising hardstanding off Blackwall Tunnel Southern Approach, A102	TGL221073	<p>1. Not to:</p> <p>1.1 do or omit to do anything which causes a nuisance to or damages or endangers the Silvertown Tunnel or otherwise adversely affects the Operation of the Silvertown Tunnel;</p> <p>1.2 conduct any works to erect or remove any building or structure or lay any service media (whether such works are wholly or partially within the Covenant Affected Land comprising Protection Zone C);</p> <p>1.3 place any mechanical plant on the Covenant Affected Land comprising Protection Zone C in such a position that:</p> <p>1.3.1 any item lifted or moved by the plant could fall on the Silvertown Tunnel;</p> <p>1.3.2 part of the plant could swing over or could damage, undermine or otherwise affect the Silvertown Tunnel;</p> <p>1.3.3 such plant could topple onto the Silvertown Tunnel;</p> <p>1.4 plant any tree, hedge or shrub on the Covenant Affected Land comprising Protection Zone C such as could cause a nuisance or damage to the Silvertown Tunnel through penetration of roots or from overhanging branches;</p> <p>1.5 leave any tree reasonably and properly considered by TfL to be dead, dying dangerous or a nuisance or likely to adversely affect the Operation of Silvertown Tunnel;</p> <p>1.6 discharge drainage towards or onto the Silvertown Tunnel without (in respect of the covenants at paragraphs 1.2, 1.3 and 1.4) the prior written consent of TfL which may be given subject to any proper conditions including payment by the applicant for such consent of TfL's proper</p>
01-066	332sqm of land comprising yard, shrubbery, access, and hardstanding off Blackwall Tunnel Southern Approach, A102	TGL216606	
01-067 (part)	30sqm of land comprising yard, shrubbery, and hardstanding off Millennium Way	TGL216606, TGL518877	
01-076	548sqm of land comprising shrubbery and hardstanding off Millennium Way	TGL221073	
01-092 (part)	32sqm of land comprising shrubbery and hardstanding (Blackwall Tunnel	TGL221073	

	Southern Approach, A102)		costs incurred in considering such application regardless of whether consent is ultimately given or whether or not the contemplated works proceed.
02-010 (part)	32sqm of land comprising shrubbery, car parking and hardstanding (Millennium Way)	TGL221073	
02-088 (part)	437sqm of land comprising shrubbery and hardstanding (Millennium Way)	TGL221073	

THE FOURTH SCHEDULE

New Rights to be acquired for the benefit of the Vested Property over the New Rights Affected Land (which is the land shown on the GVD Plan coloured blue that is also hatched blue)

Part 1

Points of general application to all the New Rights

1. All the New Rights are granted and reserved together with rights to enter and remain on the New Rights Affected Land (as specified individually in Part 2 of this Schedule) on reasonable prior notice to the relevant landowner (except in an emergency when prior notice is not required but notice of such access must still be given as soon afterwards as is reasonably practicable):
 - 1.1 with such materials, plant, apparatus, equipment, vehicles and personnel as are reasonably required in the relevant circumstances; and
 - 1.2 to the extent and for so long as is necessary to undertake the following activities; but
 - 1.3 in all cases only to the extent required to construct, operate and maintain the development authorised by the Development Consent Order.

2. All the New Rights are granted and reserved on the basis that the party exercising them must (except in an emergency):
 - 2.1 observe any reasonable site safety and site induction requirements notified to it by the relevant landowner prior to exercising the rights; and
 - 2.2 take reasonable precautions to minimise any damage to the New Rights Affected Land and disruption to activities lawfully undertaken there caused by the exercise of the rights; and
 - 2.3 in all cases must promptly make good any damage caused to the New Rights Affected Land caused directly by the exercise of the rights.

Part 2

The New Rights and the Plots to which they relate

Plot Number on GVD Plan (1)	Plot Description (2)	Existing Title (3)	New Rights (4)
01-065 (part)	12sqm of land comprising hardstanding off Blackwall Tunnel Southern Approach, A102	TGL221073	<p>1. to construct and retain on such New Rights Affected Land a retaining wall and boundary fence with associated drainage and other apparatus in order to support and protect the Silvertown Tunnel and thereafter to inspect, repair, maintain, alter, remove, replace and renew the same together with the right for that retaining wall and its associated drainage and other apparatus to be supported, sheltered and protected by the remaining parts of the New Rights Affected Land.</p> <p>2. to inspect, repair, maintain, alter, remove, replace and renew all parts of the Silvertown Tunnel including any boundary fence located on adjacent or nearby parts of the Vested Property and to carry out any works of repair and maintenance, alteration, removal, replacement or renewal of the Silvertown Tunnel which cannot reasonably be carried out without entering and remaining upon the New Rights Affected Land.</p>
01-066 (part)	141sqm of land comprising yard, shrubbery, access, and hardstanding off Blackwall Tunnel Southern Approach, A102	TGL216606	
01-067 (part)	30sqm of land comprising yard, shrubbery, and hardstanding off Millennium Way	TGL216606, TGL518877	
01-076 (part)	170sqm or thereabouts of land comprising shrubbery and hardstanding off Millennium Way	TGL221073	
01-092 (part)	32sqm of land comprising shrubbery and hardstanding (Blackwall Tunnel Southern Approach, A102)	TGL221073	
02-010 (part)	32sqm of land comprising shrubbery, car parking and hardstanding (Millennium Way)	TGL221073	<p>1. to construct and retain on such New Rights Affected Land a retaining wall and boundary fence with associated drainage and other apparatus in order to support and protect the Silvertown Tunnel and thereafter to inspect, repair, maintain, alter, remove, replace and renew the same together with the right for that retaining wall and its associated drainage and other apparatus to be supported,</p>
02-088 (part)	250sqm of land comprising shrubbery and hardstanding (Millennium Way)	TGL221073	

			<p>sheltered and protected by the remaining parts of the New Rights Affected Land.</p> <p>2. to inspect, repair, maintain, alter, remove, replace and renew all parts of the Silvertown Tunnel including any boundary fence located on adjacent or nearby parts of the Vested Property and to carry out any works of repair and maintenance, alteration, removal, replacement or renewal of the Silvertown Tunnel which cannot reasonably be carried out without entering and remaining upon the New Rights Affected Land.</p> <p>3. to construct, use and maintain a private means of access to the tunnel services compound comprising part of the Silvertown Tunnel.</p>
02-089 (part)	35sqm or thereabouts of land comprising private access and hardstanding (Millennium Way)	TGL221073	<p>1. to construct and retain on such New Rights Affected Land a retaining wall and boundary fence with associated drainage and other apparatus in order to support and protect the Silvertown Tunnel and thereafter to inspect, repair, maintain, alter, remove, replace and renew the same together with the right for that retaining wall and its associated drainage and other apparatus to be supported, sheltered and protected by the remaining parts of the New Rights Affected Land.</p> <p>2. to inspect, repair, maintain, alter, remove, replace and renew all parts of the Silvertown Tunnel including any boundary fence located on adjacent or nearby parts of the Vested Property and to carry out any works of repair and maintenance, alteration, removal, replacement or renewal of the Silvertown Tunnel which cannot reasonably be carried out without entering and remaining upon the New Rights Affected Land.</p> <p>3. to construct, use and maintain a private means of access to the tunnel services compound comprising part of the Silvertown Tunnel, and to</p>

			install, access and maintain security fencing and bollards in connection with the Silvertown Tunnel.
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THE FIFTH SCHEDULE

The Depth Table

Line B			
Reference Point	X (Easting) Coordinate	Y (Northing) Coordinate	Elevation of Point B (m AOD) (negative numbers are m BOD)
RP-01	539184.9316	179491.7017	-15.425
RP-02	539180.4348	179482.7780	-15.025
RP-03	539176.0233	179473.9254	-15.209
RP-04b	539171.6174	179465.3081	-14.565
Line C			
Reference Point	X (Easting) Coordinate	Y (Northing) Coordinate	Elevation of Point F (m AOD) (negative numbers are m BOD)
RP-04c	539174.2939	179464.2584	-8.262
RP-05	539171.8362	179455.5620	-8.264
RP-06	539170.2396	179446.5389	-8.266
RP-07	539169.3151	179437.7867	-8.268
RP-08	539168.7518	179429.1586	-8.221
RP-09	539168.8340	179420.5546	-7.264
RP-10	539169.7911	179412.1977	-6.664
RP-11	539171.5646	179403.8212	-6.065

RP-12	539174.1004	179395.6112	-5.465
RP-13	539177.4027	179387.5320	-4.851
RP-14	539181.5886	179379.5291	-4.265
RP-15	539186.5861	179371.6345	-3.665
RP-16	539192.1427	179363.6787	-3.065
RP-17	539198.0859	179355.9352	-2.468
RP-18	539204.3073	179348.1466	-1.934
RP-19	539210.5601	179340.3862	-1.508
RP-20	539217.2553	179333.1479	-1.203

THE SIXTH SCHEDULE

Indicative elevations (in metres AOD or BOD) for the Surface of the Land as most recently published by Ordnance Survey Limited for the Reference Points as set out below

Reference Point	X (Easting) Coordinate	Y (Northing) Coordinate	Indicative elevation of Point A at the Surface of the Land (m AOD) (negative numbers are m BOD)
RP-01	539184.9316	179491.7017	3.373
RP-02	539180.4348	179482.7780	3.292
RP-03	539176.0233	179473.9254	3.445
RP-04b	539171.6174	179465.3081	3.611
Reference Point	X (Easting) Coordinate	Y (Northing) Coordinate	Indicative elevation of Point E at the Surface of the Land (m AOD) (negative numbers are m BOD)
RP-04c	539174.2939	179464.2584	3.686
RP-05	539171.8362	179455.5620	3.887
RP-06	539170.2396	179446.5389	4.137
RP-07	539169.3151	179437.7867	4.409
RP-08	539168.7518	179429.1586	4.689
RP-09	539168.8340	179420.5546	4.983
RP-10	539169.7911	179412.1977	5.276
RP-11	539171.5646	179403.8212	5.563

RP-12	539174.1004	179395.6112	5.836
RP-13	539177.4027	179387.5320	6.000
RP-14	539181.5886	179379.5291	6.001
RP-15	539186.5861	179371.6345	6.001
RP-16	539192.1427	179363.6787	6.001
RP-17	539198.0859	179355.9352	5.761
RP-18	539204.3073	179348.1466	5.256
RP-19	539210.5601	179340.3862	4.413
RP-20	539217.2553	179333.1479	4.714

ANNEXURES


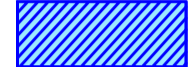
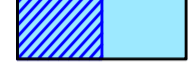



GVD PLAN

The Silvertown Tunnel Order 2018: The Silvertown Tunnel South Portal (Greenwich) GVD

Compulsory Purchase of Land (Vesting Declarations) (England) Regulations 2017/3.



Key

-  GVD Outer Limit*
-  New Rights Affected Land*
-  Covenant Affected Land*
-  Vested Property*
-  Order Land
-  Plot Boundaries

*Please refer to the Silvertown Tunnel South Portal (Greenwich) GVD for further explanation of these terms.

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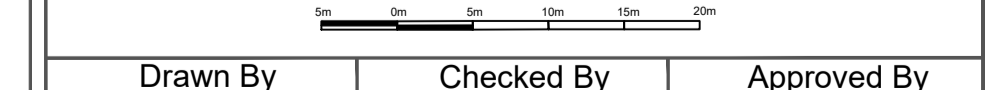
Designer



Project The Silvertown Tunnel Order 2018: The Silvertown Tunnel South Portal (Greenwich) GVD

Drawing Title
THE SILVERTOWN TUNNEL SOUTH PORTAL (GREENWICH) GVD SHEET 1 OF 1

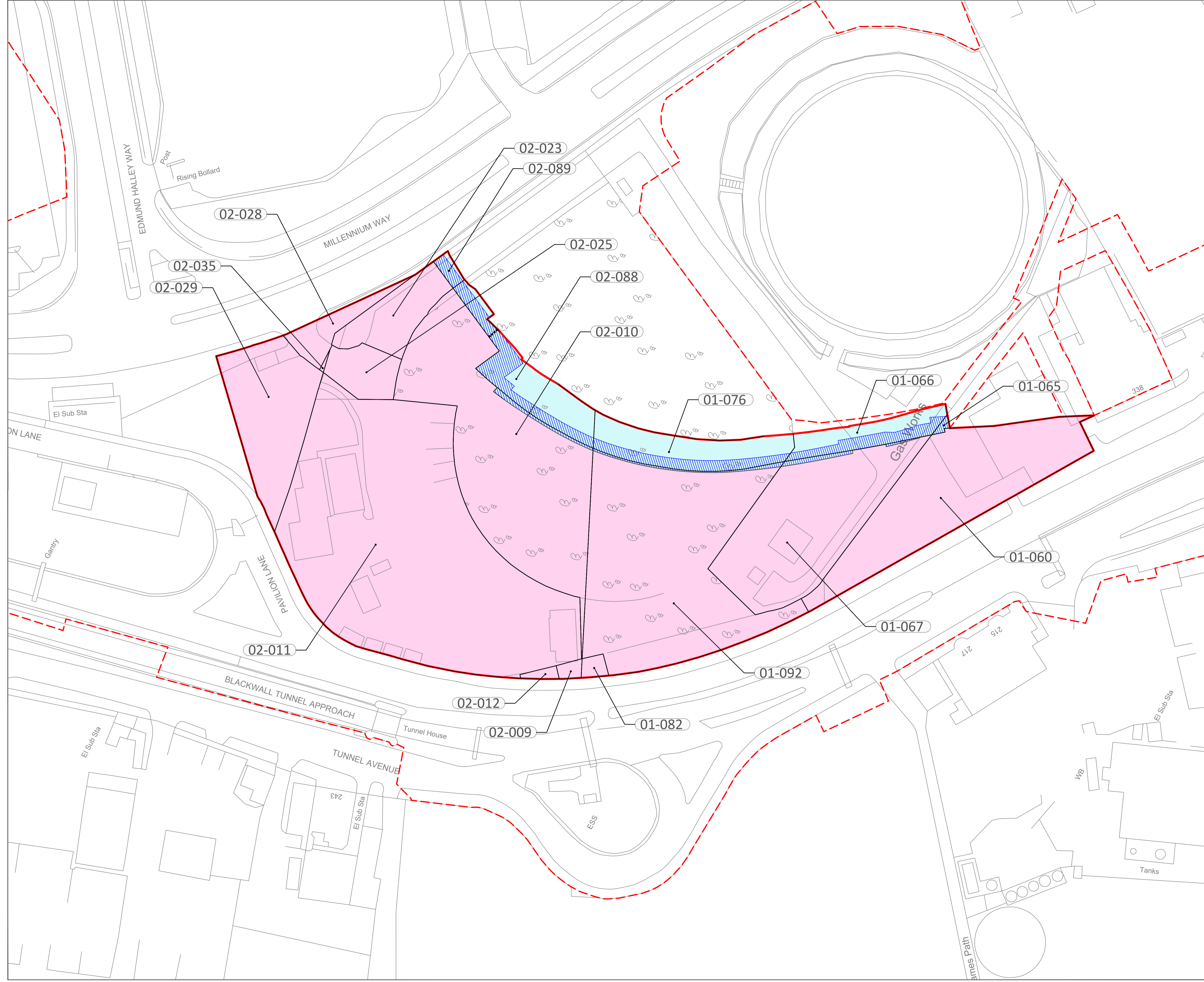
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Scale	1:500 @ A1 Spatial Reference System	Date	19.10.2022
			British National Grid



Drawn By	Checked By	Approved By
G.Jones	A.Bodrozic	A.Bodrozic




Plan reference STT-TSP-GVD-01

Drawing reference N:\CAD Team\Silvertown Tunnel\The South Portal GVD\Silvertown_The_South_Portal_GVD_Co-Ords_R1_18102022.dwg
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GVD Illustrative Cross Section Figure 1

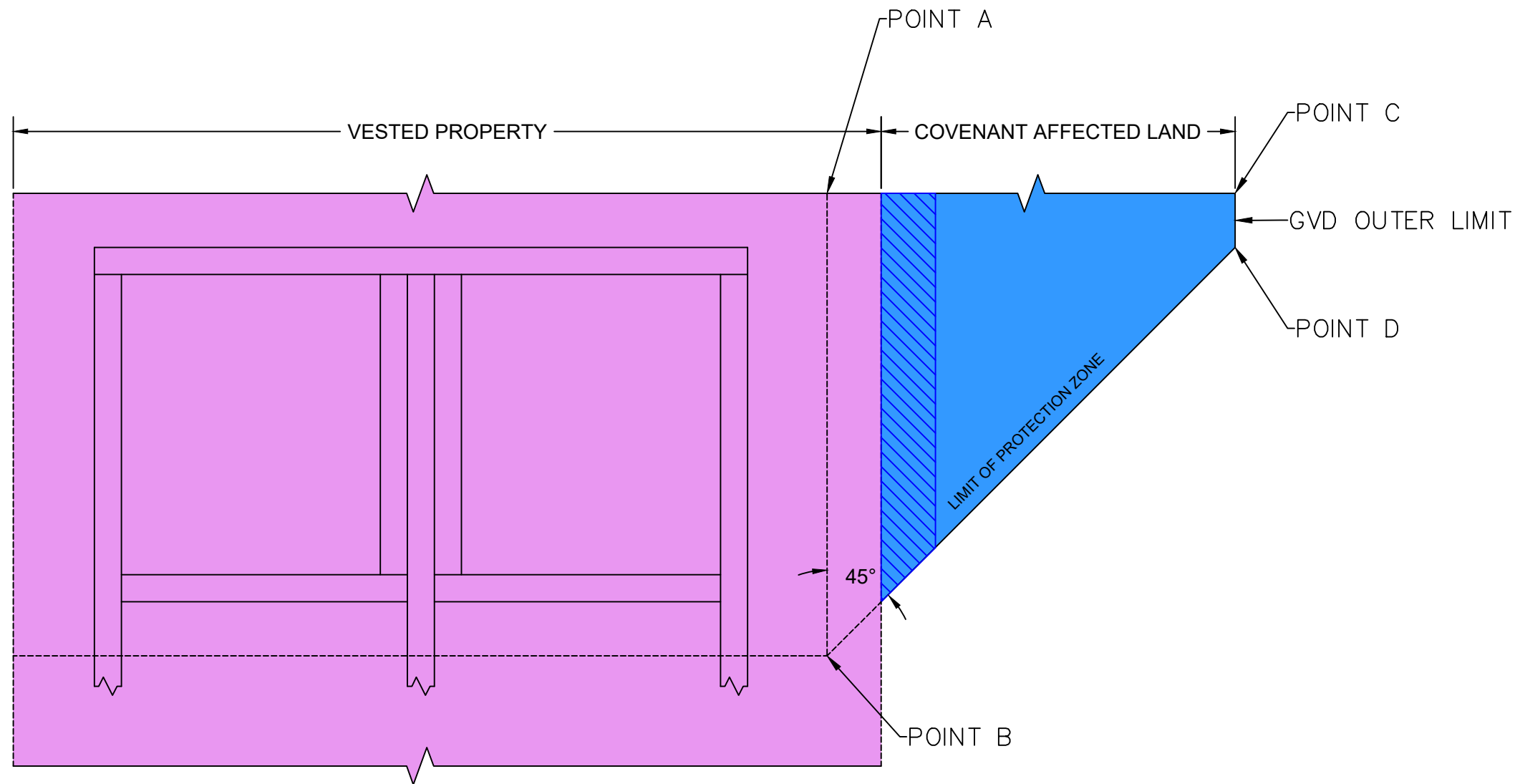
Key:

-  COVENANT AFFECTED LAND
-  VESTED PROPERTY
-  NEW RIGHTS AFFECTED LAND

Notes

- Diagram for illustrative purposes only

GVD Illustrative Cross-Section Figure 1



Title:
GVD Illustrative Cross-Section
Figure1

Scale: Not To Scale

Dwg Ref:
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Plan Ref: GVD Illustrative Cross-Section Figure1

	Date: 20.09.2022	Drawn by: NH
	Rev: 02	Checked: AB

GVD Illustrative Cross Section Figure 2

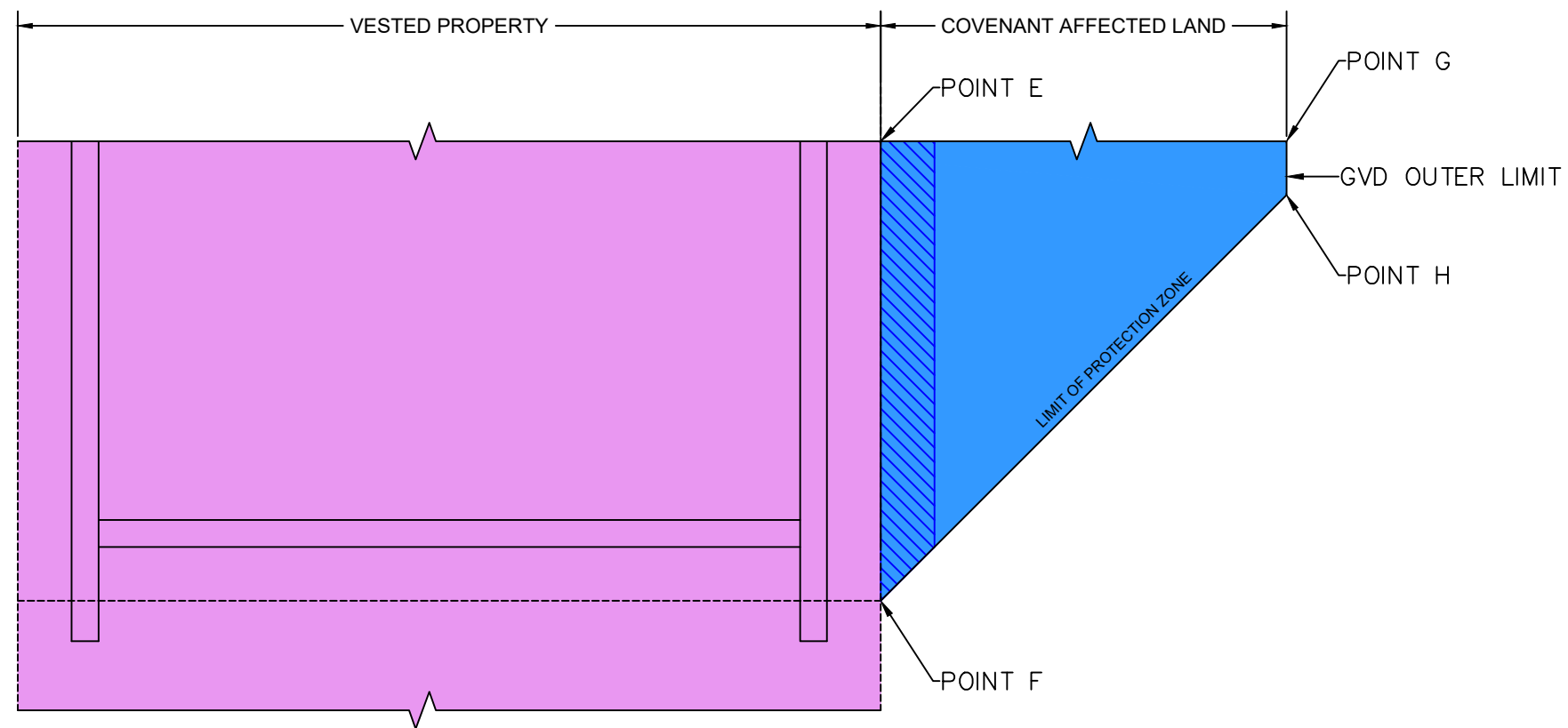
Key:

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-  VESTED PROPERTY
-  NEW RIGHTS AFFECTED LAND

Notes

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GVD Illustrative Cross-Section Figure 2



Title:

GVD Illustrative Cross-Section
Figure 2

Scale:

Not To Scale

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GVD Illustrative Cross-Section Figures



Date:	20.09.2022	Drawn by:	NH
Rev:	01	Checked:	AB

Reference Points Plan

The Silvertown Tunnel Order 2018: The Silvertown Tunnel South Portal (Greenwich) GVD

Compulsory Purchase of Land (Vesting Declarations) (England) Regulations 2017/3.



Key

- GVD Outer Limit*
 - New Rights Affected Land*
 - Covenant Affected Land*
 - Vested Property*
 - RP-XX Reference Point*
- *Please refer to the Silvertown Tunnel South Portal (Greenwich) GVD for further explanation of these terms.
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Drawing Title
THE SILVERTOWN TUNNEL SOUTH PORTAL (GREENWICH) GVD REFERENCE POINTS PLAN SHEET 1 OF 1

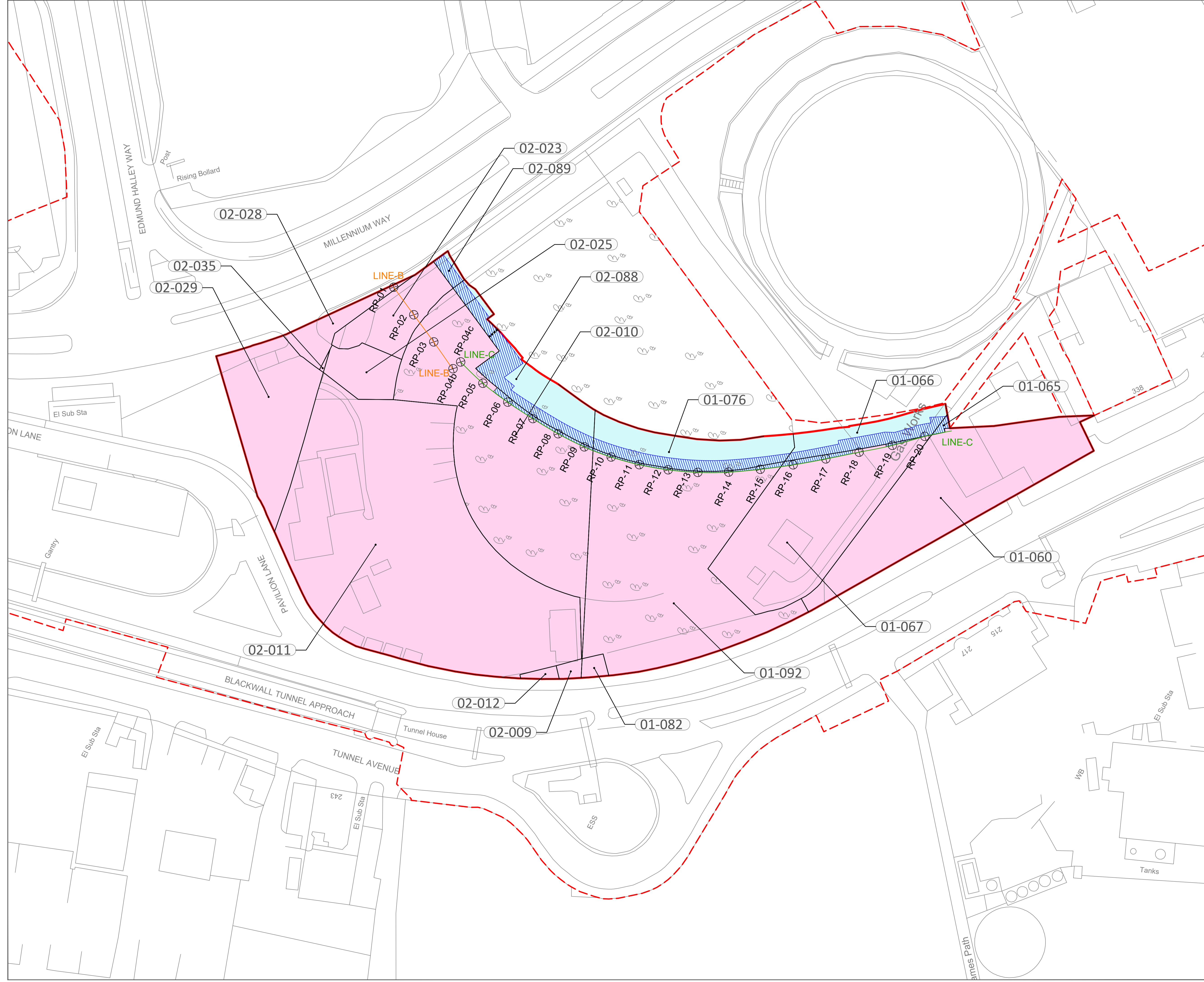
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Drawn By	Checked By	Approved By
G.Jones	A.Bodrozic	A.Bodrozic

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